

# VAPSTAT Forum



August 27, 2013

# Agenda

5:00-5:05

- Welcome, Meeting Structure, VAPStat Website
- Responses to Questions from Previous Forum

5:05-5:15

- Key Performance Indicator Highlights
- Questions from Senior Staff

5:15-6:15

- Foreclosure Overview
- Foreclosure Process
- Questions from Senior Staff

6:15-6:30

- Audience Questions and Response

*~ Please submit **VAPSTAT** feedback form on back page of ~  
presentation at end of meeting*

# VAPStat Website: [vapstat.louisvilleky.gov](http://vapstat.louisvilleky.gov)

**LouisvilleKy.Gov**Feedback ▾

[Home](#) [About](#) [Resources](#) [Events](#)



[Data / Maps](#) [Presentations](#) [FAQ](#)

### VAPStat Public Forum

The second Vacant and Abandoned Properties Statistics, or VAPStat, forum will be held Tuesday July 2nd, 2013 from 5:00pm – 6:30pm at the Louisville Main Public Library's Centennial Room located at 301 York Street. Click [here](#) for a copy of the presentation.



#### Priority Areas

Prevention	Foreclosure Prevention	Weatherization Assistance Program
	Property Tax Help	Emergency Repair Program
	Lead-Safe Louisville Project	
Enforcement	Abandoned Urban Property	Code Enforcement
	Demolition	
Real Estate & Property	Purchase Property From Metro	Donate a Property to Metro

#### About VAPStat

VAPStat (short for "Vacant and Abandoned Property Statistics") is a program that uses data and metrics to assess Metro Government's performance in tackling the complex problem of vacant properties. This website is a one stop shop for citizens to learn about the programs and resources available through Metro to: to prevent abandonment, to ensure that properties are maintained according to Code via enforcement tools, and to support property redevelopment through acquisition and sale of properties.

#### Events

[VAPStat Meeting](#)  
Tuesday, July 2,  
2013 - 17:00 to  
18:30



# KEY DEFINITIONS & STATISTICS

# Key Definitions

<b>Vacant Property</b>	Any structure not occupied or being used for legal purposes or lot free from activity, work, or development.
<b>Abandoned Property</b>	Any property that has been vacant or unimproved for at least the 12 months and, due to failure of the property owner to maintain the property, required Metro to either cut the grass/weeds, clean the lot, board the structure, or demolish the structure within the same period.



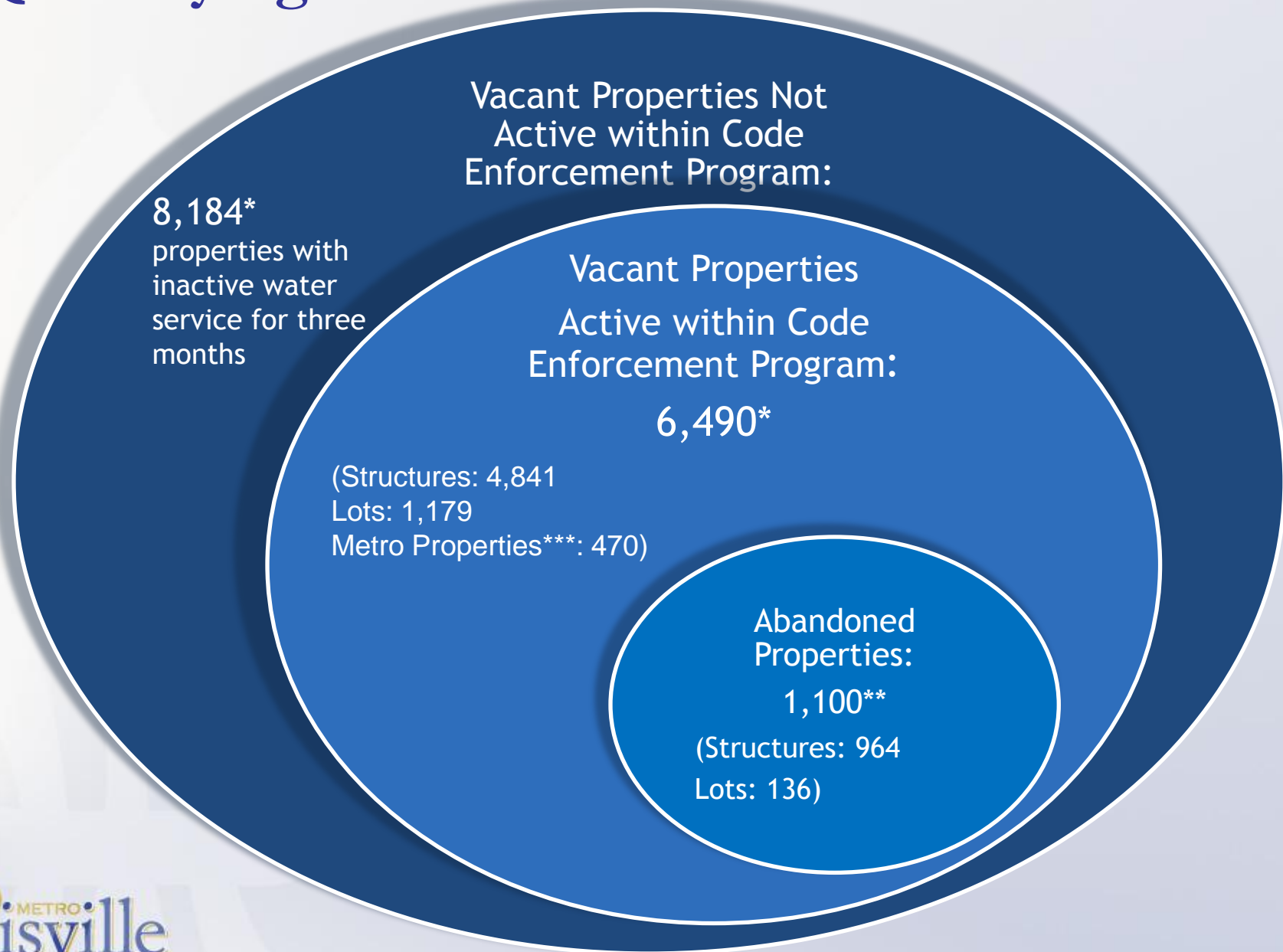
# VAP Strategic Goal

- 40% reduction of abandoned properties within three years and 67% reduction within five years, as measured against the 2011 baseline of 1,260 abandoned properties.
  - Reduction of 504 properties by July 2015
  - Reduction of 844 properties by July 2017
- This goal will be achieved through a new program to change ownership of abandoned properties through foreclosure, as well as a 22% increase in demolitions annually from the previous four-year average.
- Additional effort will also be placed on abandonment prevention and increasing owner compliance with property maintenance code violations.

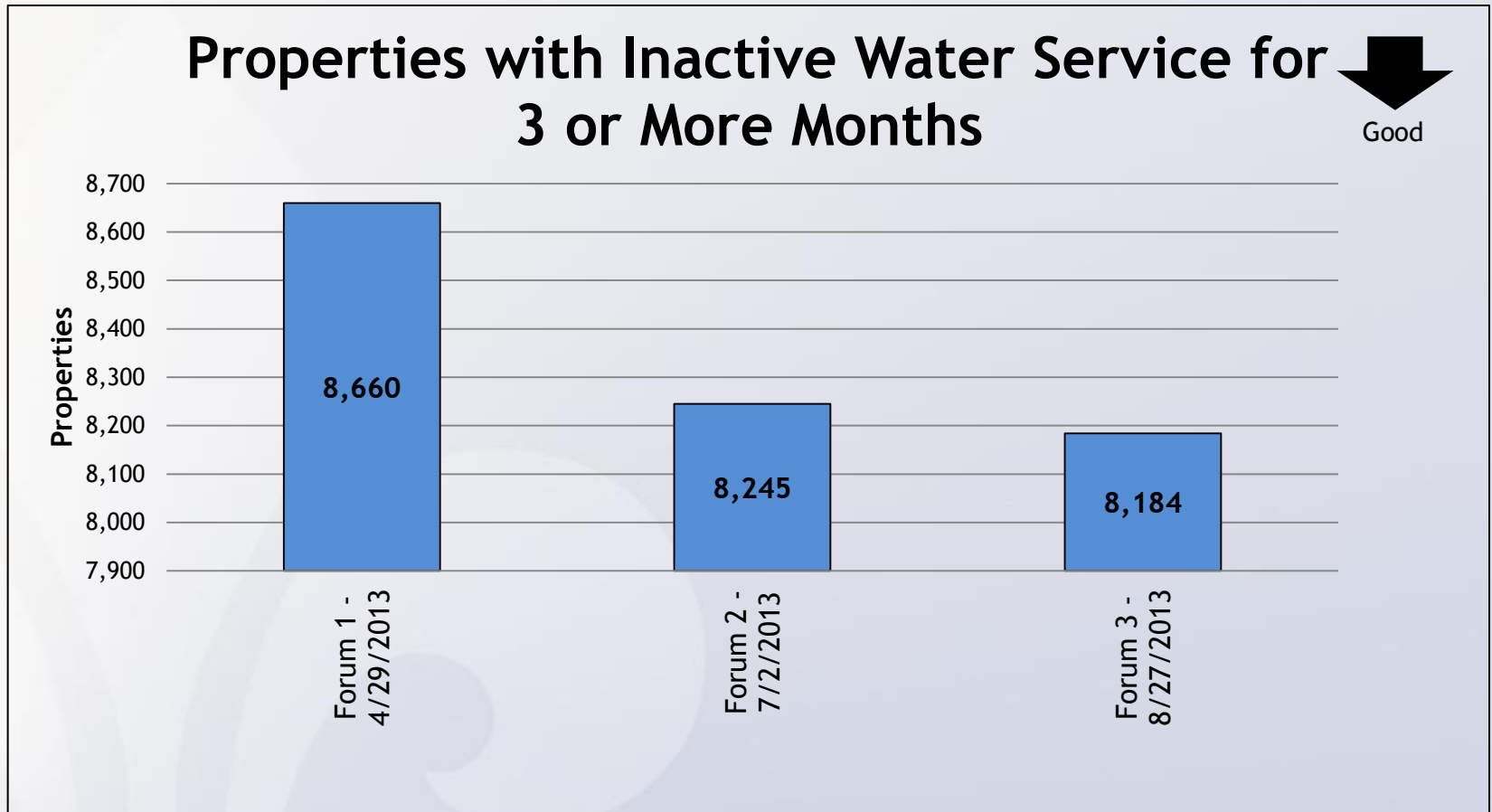
## Progress to date:

- 101 blighted structures demolished
- 127 foreclosures initiated (first properties anticipated to be sold at auction in the next quarter)

# Quantifying VAPs

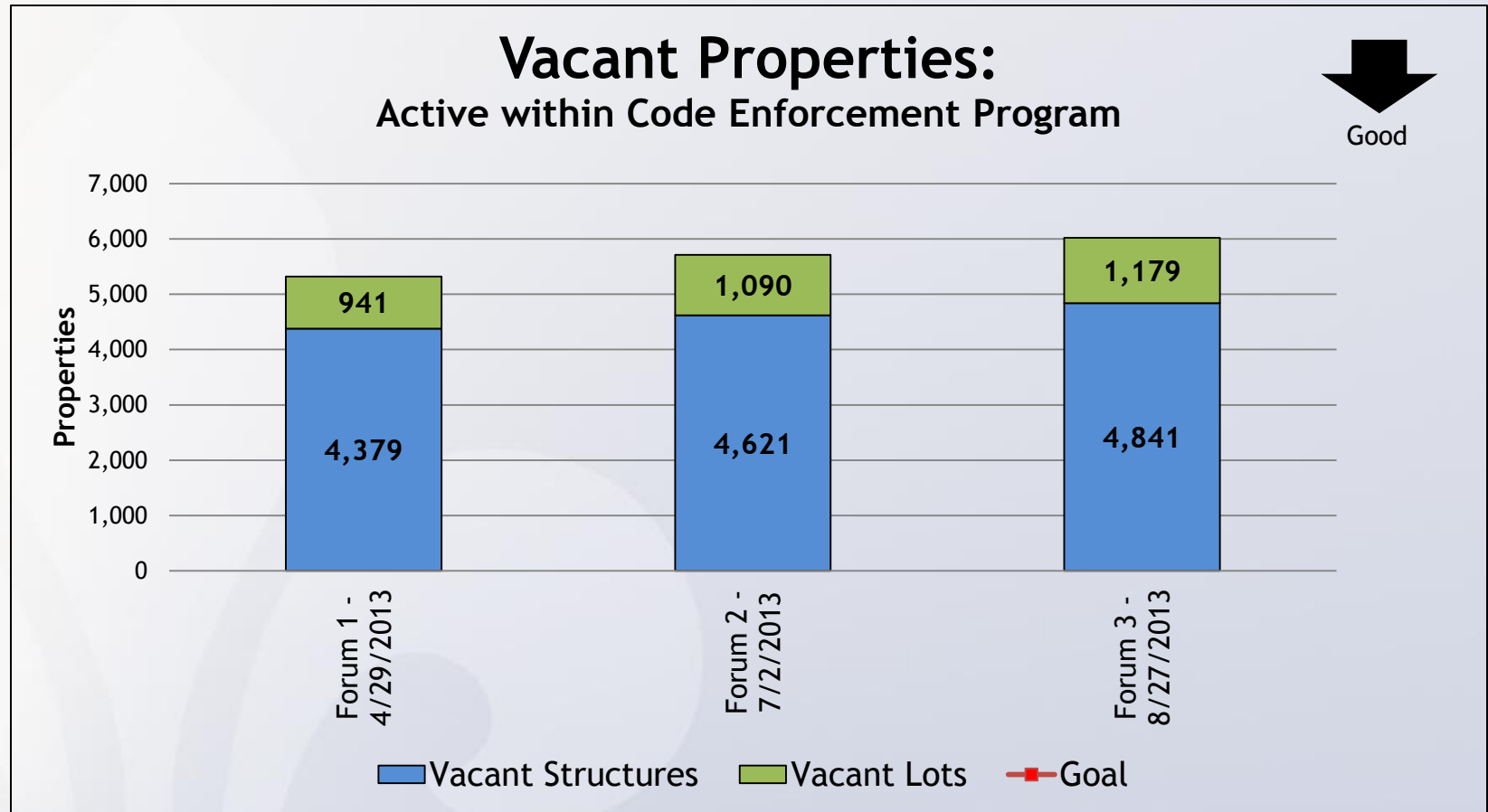


# Changes in VAPs

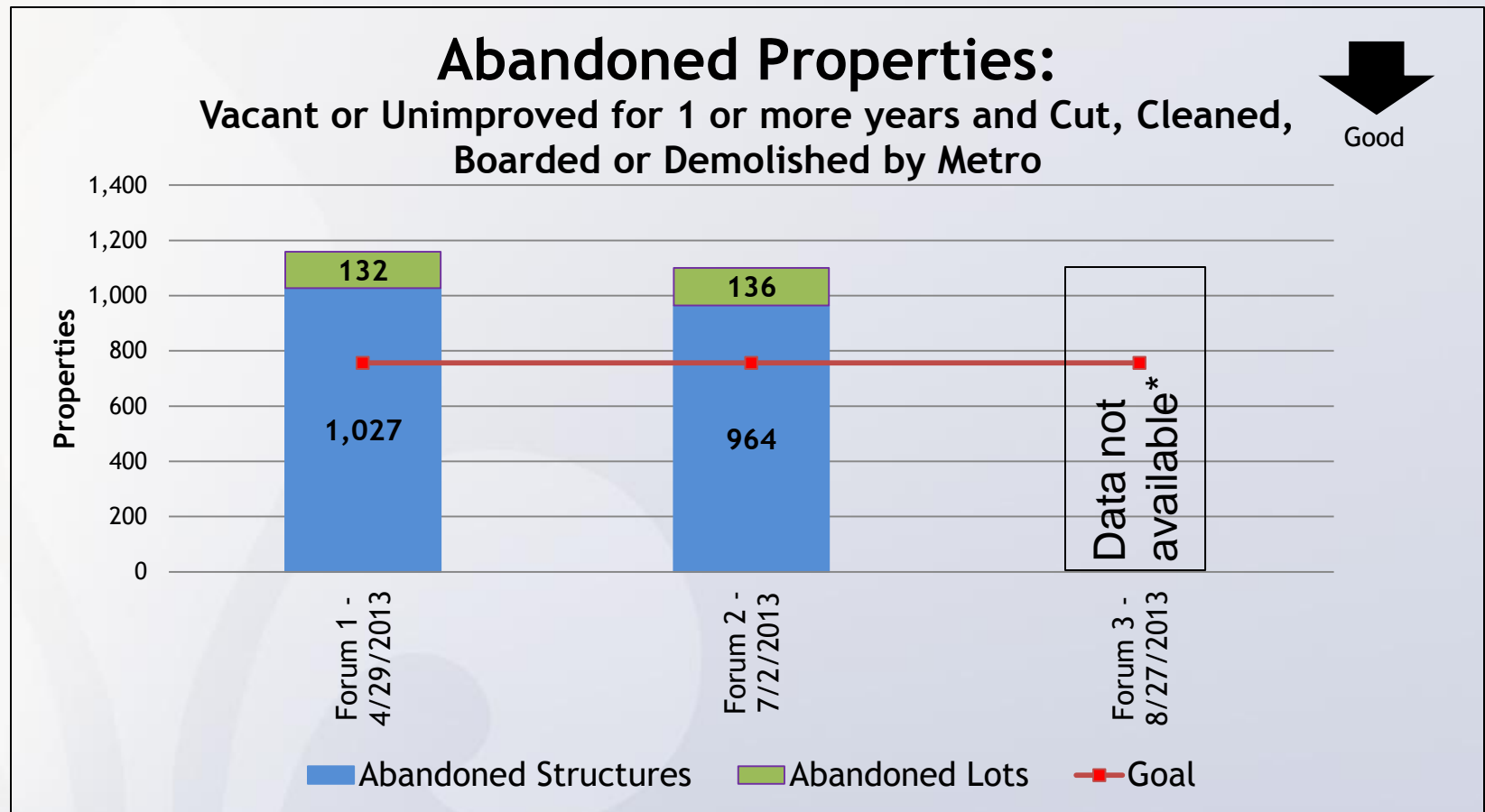




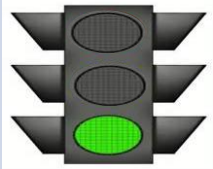

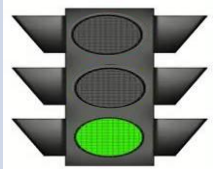
# Changes in VAPs



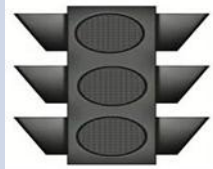
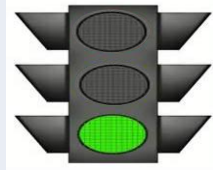

# Changes in VAPs



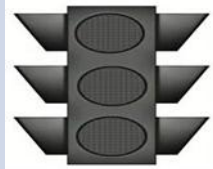
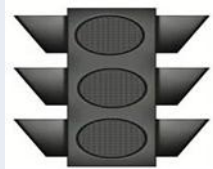
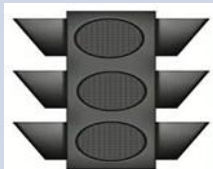
# KPI Highlights

KPI Report Page #	KPI Name	July Performance	Last 12 Month Performance	Last 12 Month Target	Last 12 Month Indicator
3	Metro Demolished Structures	7	101	87	
4	VAP Foreclosures Initiated	11	127	98	
5	Payment/Collection from Fines, Abatement Cost & Liens	\$201,043	\$1,737,657	\$1,491,089	

# KPI Highlights

KPI Report Page #	KPI Name	July Performance	Last 12 Month Performance	Last 12 Month Target	Last 12 Month Indicator
6	Boarding and Cleaning Requests Received	664	6,513	N/A - input measure	
7	Boarding and Cleaning Cases Resolved	782	8,063	6,968	
8	Monthly Backlog of Boarding and Cleaning Cases	240	923 (monthly average)	600 (monthly average)	

# KPI Highlights

KPI Report Page #	KPI Name	July Performance	12 Month Performance	12 Month Target	Indicator
9	Properties Acquired by Landbank and Urban Renewal	1	19	TBD	
10	Properties Disposed by Landbank and Urban Renewal	1	8	TBD	
11	Average Age of Inventory (in months)	213	211	TBD	

# FORECLOSURE OVERVIEW



# What is a Foreclosure?

- Legal definition: a lawsuit to terminate the interest of an owner of property subject to a lien.
- A lawsuit to enforce Metro's right to collect Property Maintenance fines, fees and costs against a property owner.

# What are some key definitions for VAP Foreclosures?

- Abatement:
  - Property Maintenance work performed by Metro on a property
- Civil Penalty Liens:
  - Liens filed by Metro for violations of the Property Maintenance/ Nuisance Code
- Code:
  - Louisville Metro Code of Ordinances
- Deed in Lieu of Foreclosure:
  - Property owner deeds property to lien-holder to avoid foreclosure
- Lien:
  - Recorded claim on a property that secures a debt
- Lis Pendens:
  - Notice of foreclosure action recorded in the Jefferson County Clerk's Office
- Uniform Liens:
  - Liens filed by Metro for work performed by Metro on private property

# How does a VAP Foreclosure differ from a Private Foreclosure?

VAP Foreclosure	Private Foreclosure
Metro is committed to resolution of these VAP Foreclosures.	Foreclosure may linger for years in some cases.
Value of property is not a deciding factor	Typically, only filed on properties with a high value
Metro is the party suing (Plaintiff)	

# How does a VAP Foreclosure differ from Eminent Domain/Spot Condemnation?

VAP Foreclosure	Eminent Domain/Spot Condemnation
	Vacant Property Review Commission makes determination of blight
	Metro Council authorizes condemnation
One case through court process	Possibly two cases through court process
	Taking of property must be for a “public purpose”
Property is sold at auction (Commissioner’s Sale)	Metro pays Fair Market Value for property

# What Resources are Assigned?

- Personnel
  - Community Services & Revitalization
    - 2.5 FTE
  - County Attorney's Office
- Funding Sources
  - General Fund
  - National Mortgage Settlement
    - As of FY14, the total amount of money allocated to VAP Foreclosures was \$319,792

# What do VAP Foreclosures cost LMG?

- Estimated \$4,000 each, including administrative costs, fees and court costs

## Breakdown of Fees and Court Costs:

Based on Appraised Value of \$34,940 with 2 Owners		
Fee type	Estimated Amount	Cost Basis
Filing Fee	\$153.00	Jefferson County Circuit Court fee
Service Fee	\$80.00	Sheriff's Office fee (\$40/person)
LP Filing Fee	\$13.00	Jefferson County Clerk fee
Title Search	\$125.00	Fee per Metro Contract
Warning Order	\$150.00	\$100 for first party; \$50 for each additional party (Local Rules of
Application Fee	\$200.00	Circuit Court Clerk's Office
Motion for Sale Fee	\$675.00	Deposit
Balance due to Commissioner	\$384.28	
<b>GRAND TOTAL</b>		<b>\$1,780.28</b>



# Comparative Timeframes for Foreclosures

- VAP Foreclosures in Louisville take a minimum of 9 months (271 days) from the filing date to the sale being finalized
- In other places, foreclosures can take much longer

## ILLINOIS VS. TOP STATES

Days between notice of default and repossession



Source: RealtyTrac Inc.

## A LONG WAIT

As of the second quarter, it took an average of 647 days to process a residential foreclosure case in Illinois as cases continue to hit the courts.

## ILLINOIS VS. U.S. AVERAGE

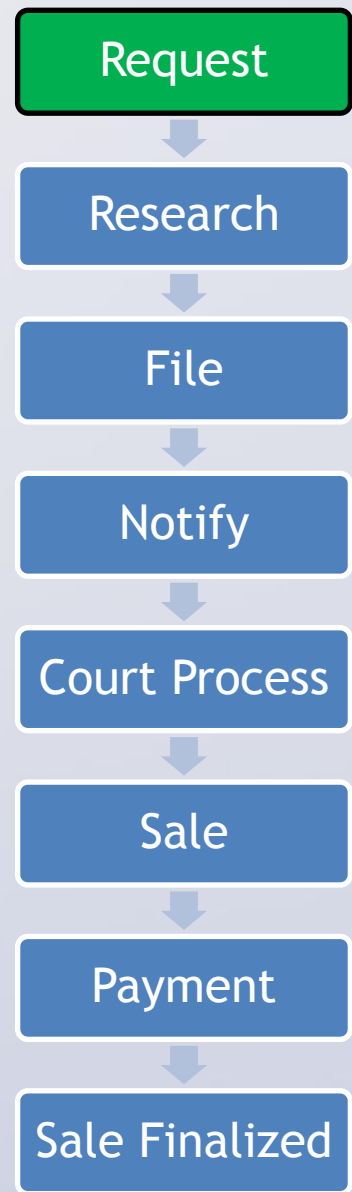
Days between notice of default and repossession



# VAP FORECLOSURE PROCESS

# Foreclosure Request

- Requests for foreclosures can come through an internal Metro Request or an interested party
- Interested party requests can be submitted by:
  - Website:  
<http://vapstat.louisvilleky.gov/request-foreclosure>
  - Email: [VAP@louisvilleky.gov](mailto:VAP@louisvilleky.gov)
  - Phone: 574-4172



# VAP Foreclosure Request Form

Your Information

## VAP FORECLOSURE REFERRAL

### CONTACT INFORMATION

Please provide your contact information. (Please update this information with our office if the contact information changes.)

Your Name:			(Date)
Your Company/Non-Profit*:			
Your Address:			
	(Street)	(Apt./Suite)	
	(City, State)	(Zip Code)	
Your Phone No:			
	(Main)	(Alternate)	
Your Email:			
*If you are asking for a foreclosure on behalf of a Company or Non-Profit, enter Company's/Non-Profit's Contact Information.			

Page 1 of 4

Request

Research

File

Notify

Court Process

Sale

Payment

Sale Finalized

# VAP Foreclosure Request Form

Case Information

## PURPOSE AND SCOPE

The purpose to Metro's Foreclosure Program is to force an ownership change from a party who currently is not maintaining or using the property in a productive and positive manner to a party that will.

Upon receipt of this Foreclosure Request, Metro will research the property to determine whether the Subject Property is eligible for foreclosure action based on this policy.

Once the foreclosure has been commenced by Metro, Metro expects that you will bid on the property at Commissioner's Sale.

Upon filing with the Circuit Court, the case will be assigned a case number. Using that case number, any person may request to view the actual file at:

Civil Circuit Division  
Office of Circuit Court  
Jefferson County Judicial Center  
Room 309  
700 W. Jefferson St.  
Louisville, KY 40202

Also using this case number, any person may contact the Master Commissioner's Office to check the sale date. It is your responsibility to track the sale date.

This Foreclosure Request in no way obligates Metro to act.

Request

Research

File

Notify

Court Process

Sale

Payment

Sale Finalized

# VAP Foreclosure Request Form

## ■ Submit VAP Foreclosure Requests to:

- Email: [VAP@louisvilleky.gov](mailto:VAP@louisvilleky.gov)
- Fax: 574-4199
- Mail:

CSR- Community Revitalization Division  
c/o Mary McGuire  
444 South 5th Street, 5th Floor  
Louisville, KY 40202

Request

Research

File

Notify

Court Process

Sale

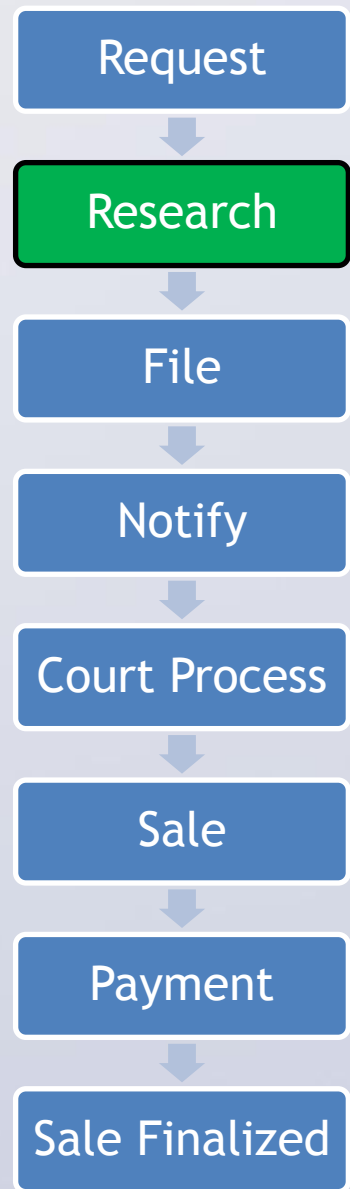
Payment

Sale Finalized



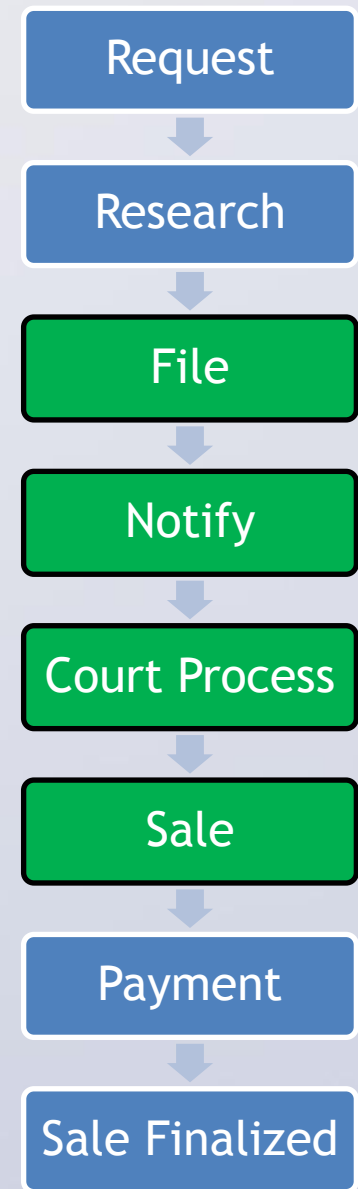
# Conduct Property Research/ Prepare File

- Research ownership and liens on property
- Conduct title search
- Review and prepare package for County Attorney's Office



## What about Settlement?

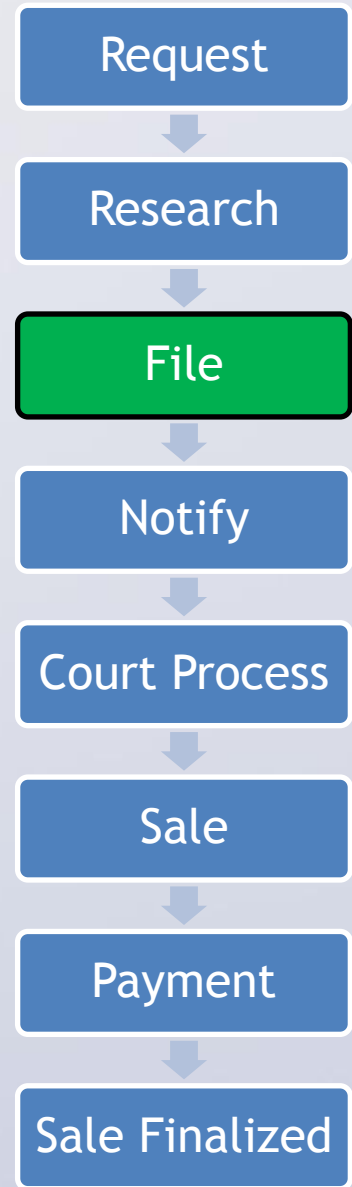
- The next step in the process is to file the foreclosure with the County Attorney's Office, however,
- It is important to keep in mind that at any point after the foreclosure is filed until the sale is confirmed, the case can settle out of court.



# County Attorney's Office Files Foreclosure

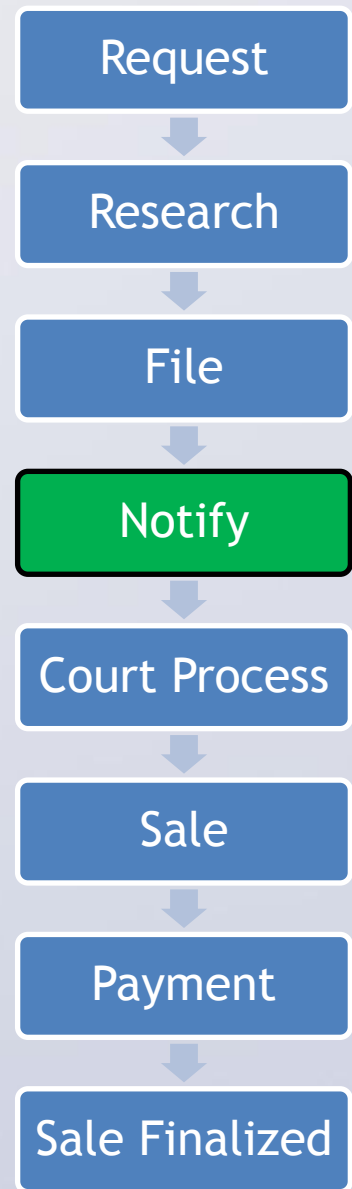
## County Attorney's Office:

- Reviews package
- Advises Foreclosure Division if there are any issues with filing
- Files foreclosure complaint in Jefferson County Circuit Court
- Files notice of action (“lis pendens”) in Jefferson County Clerk's Office



# Service of Process

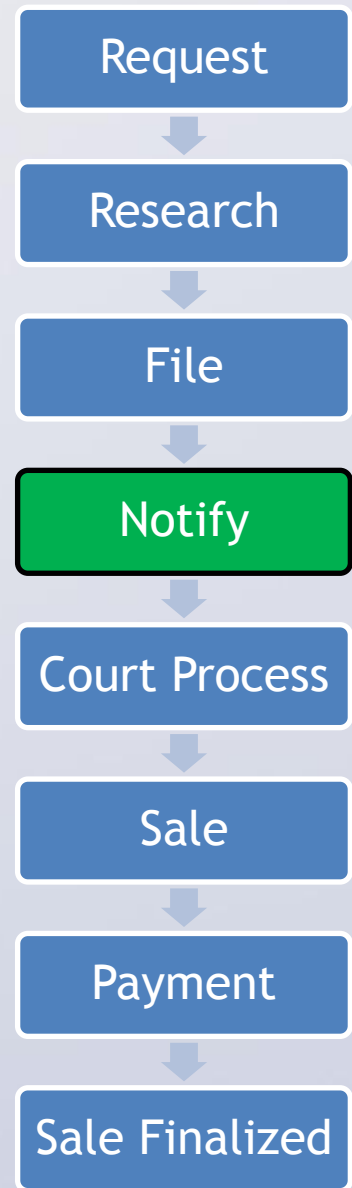
- Due process safeguards
- Who gets notified?
  - All parties with a legal interest in the property
    - E.g., Owners of record, unknown spouses, unknown heirs, devisees, including children, grandchildren, nieces, nephews, siblings, parents,...



# Service of Process

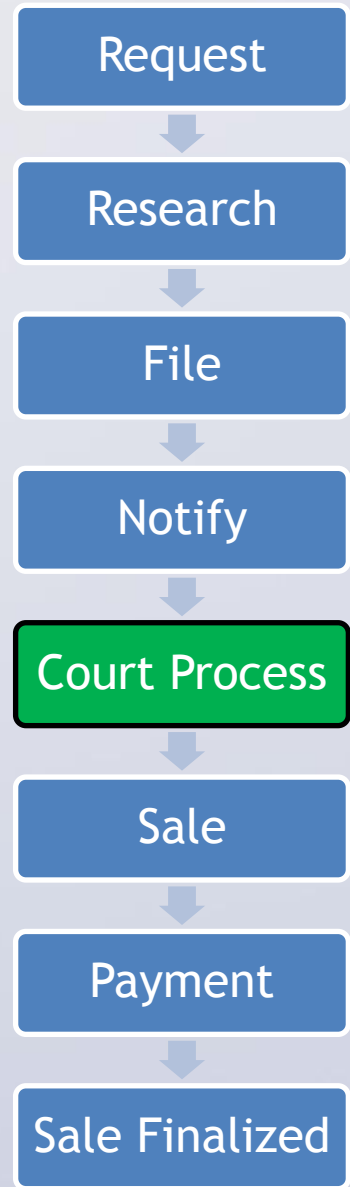
## ■ How?

- 1) First-class mail
- 2) Sheriff
- 3) Warning Order Attorney



# Court Process

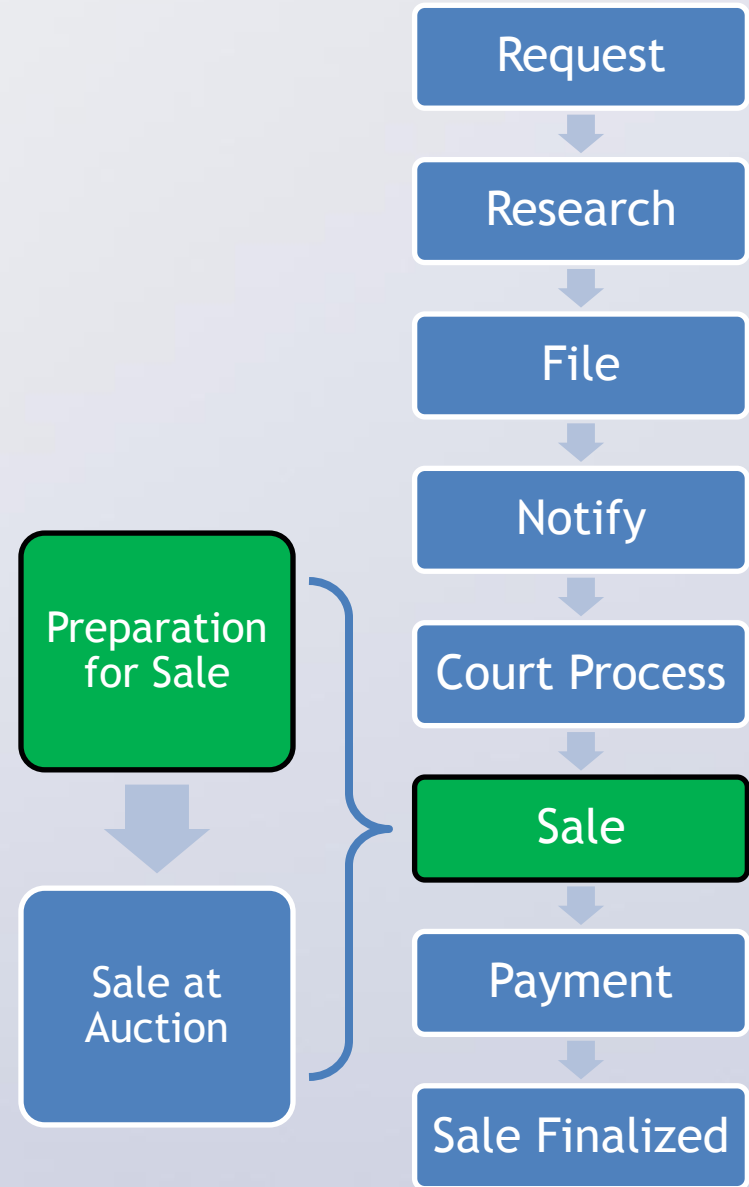
- Local Rules of Court
- Kentucky State Rules of Procedure
- Complaint
- Answer
- Motions





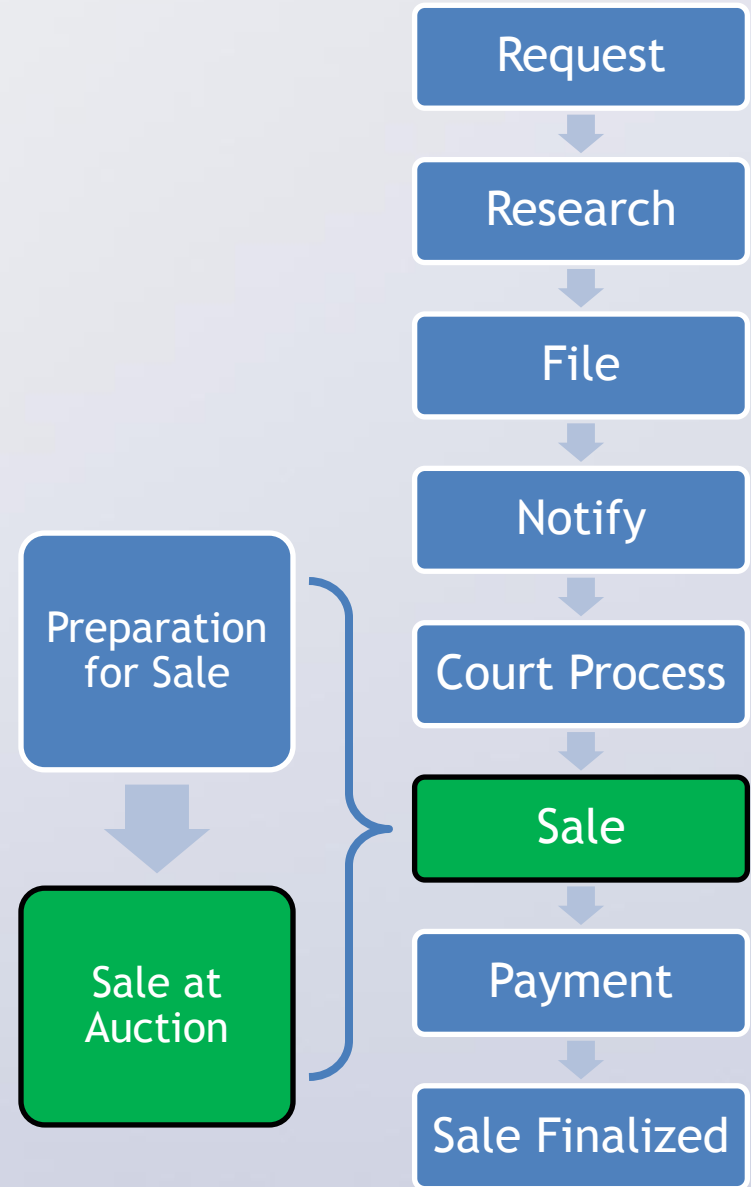
# Preparation for Sale

- Master Commissioner,  
Edith Halbleib  
Presentation



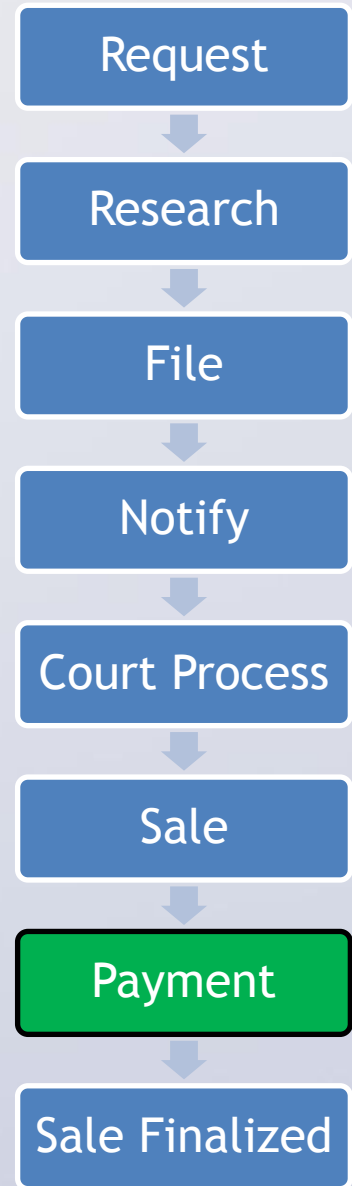
# Sale at Auction

- Master Commissioner,  
Edith Halbleib  
Presentation



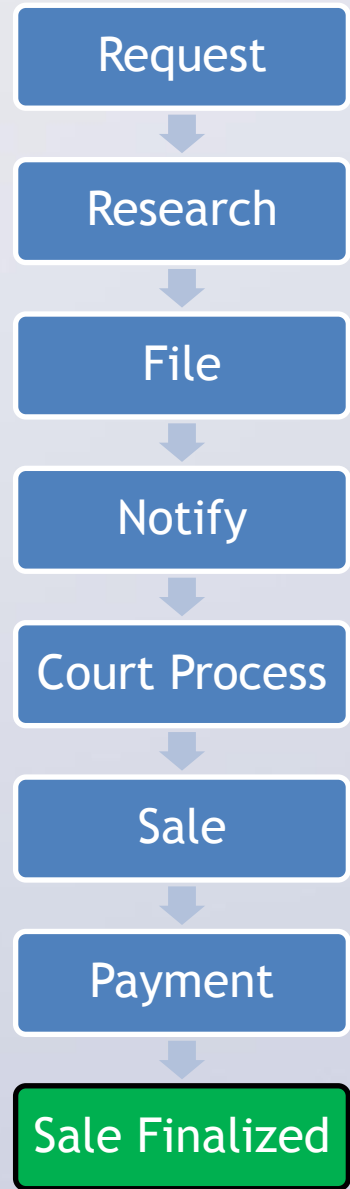
# Payment

- Master Commissioner,  
Edith Halbleib  
Presentation



# Sale Finalized

- Right of Redemption
- Order Confirming Sale
- Motion & Order for Deed
- Commissioner's Deed



# Pain points

- Administrative:
  - Hansen 8
  - CourtNet does not display complete documents

# Pain points

- Legislative:
  - Right of Redemption period
  - Service of Process
  - No mandatory recording of deed requirement in Kentucky
  - Consideration Certificate is required to be signed by the buyer

# Opportunities for Citizen Involvement

## EXPLORE THE NEW VAPSTAT WEBSITE

Visit [vapstat.louisvilleky.gov](http://vapstat.louisvilleky.gov)

## SPREAD THE WORD ABOUT FORECLOSURE PREVENTION

Help families who are struggling to make their mortgage payments stay in their homes. Refer them to Protect My Kentucky Home at (866) 830-7868 or visit [www.ProtectMyKYHome.org](http://www.ProtectMyKYHome.org).

## ORGANIZE A NEIGHBORHOOD CLEAN-UP / "ADOPT A PROPERTY"

Call [MetroCall at 311](tel:311). Brightside and Codes & Regulations may be able to assist with supplies and services.

## PARTICIPATE IN THE 3RD ANNUAL BLIGHT OUT - BRIGHTEN UP EVENT IN 2014

Volunteers are recruited to paint plywood boards to enhance the boarding of vacant structures.

Call [Codes & Regulations at 574-3364](tel:5743364) or e-mail [Caroline.Fletcher@louisvilleky.gov](mailto:Caroline.Fletcher@louisvilleky.gov).

## REPORT DUMPING, VACANCIES OR IF YOU SEE SOMEONE REMOVING PARTS FROM A BOARDED VACANT STRUCTURE

Call [MetroCall at 311](tel:311).

## CHECK CODES & REGULATIONS WEBSITE FOR VACANT STRUCTURES AND PROPERTY MAINTENANCE ENFORCEMENT INFORMATION

Visit [www.louisvilleky.gov/IPL/PropertyMaintenance](http://www.louisvilleky.gov/IPL/PropertyMaintenance)

## LEARN ABOUT AFFORDABLE HOUSING DEVELOPMENT, HOME REPAIR AND OTHER REVITALIZATION EFFORTS FROM COMMUNITY SERVICES AND REVITALIZATION

Visit [www.louisvilleky.gov/csr](http://www.louisvilleky.gov/csr)

## PURCHASE PROPERTY OR A SIDE LOT FROM THE LANDBANK AUTHORITY

Call (502) 574-4016 or view property list at [www.louisvilleky.gov/CSR/Revitalization/Landbank+Authority+Inc](http://www.louisvilleky.gov/CSR/Revitalization/Landbank+Authority+Inc)

## STAY APPRISED OF THE CITY'S EFFORTS TO REDUCE VACANT AND ABANDONED PROPERTIES

Starting April 29, 2013, VAPStat public forums will be held bi-monthly. VAPStat – short for Vacant and Abandoned Properties – will provide the public the chance to see and to track how Louisville Metro is dealing with these properties. Visit [vapstat.louisvilleky.gov](http://vapstat.louisvilleky.gov) for VAPStat reports and meeting dates.



# Evaluation Form

- What describes you best? Circle one:

Concerned Citizen

Metro Employee

Private Business

Non-profit Representative

- On a scale 1-5, how useful was this meeting to you? (1= least useful and 5= most useful)

1

2

3

4

5

- What's working?
- What's not working?
- What would you like to see discussed in future forums?



# APPENDIX

# Background

**Background:** With more than 5,000 reported vacant properties (1,100 of which are listed as abandoned) in 2012. Louisville, like much of the country, has struggled to make a significant impact against the problem of vacant and abandoned properties. Despite on-going efforts to address the problem at all levels, there is a growing sense that the magnitude of the problem demands a more comprehensive and coordinated response from all parties to have a substantial and lasting impact.

➤ **Strategic Goal:** Mayor Fischer and his administration have set a strategic goal of a 40% reduction of abandoned properties within three years and 67% reduction within five years, as measured against the 2011 baseline of 1,260 abandoned properties. This means a reduction of 504 properties by July 2015 and 844 properties by July 2017.

During VAPSTAT, short for Vacant and Abandoned Properties Statistics, the Mayor and City leaders from across multiple departments and agencies will use data and metrics to assess Metro Government's performance in tackling the complex problems associated with the city's many vacant properties.

VAPSTAT will analyze progress against key vacant and abandoned property metrics like the number of Code Enforcement Service Requests, Foreclosures, Demolitions, and the amount of Liens Collected. With this information, the Mayor and his senior management team will track trend data to assess the impact of current initiatives and identify new tactics or operational changes that must be made to ensure we reach our goals and ultimately eradicate vacant and abandoned properties from our community.

# Intent and Scope

In addition to meeting our strategic goal, the VAPSTAT forum will help Louisville Metro Government better:

- **Understand** the magnitude of the problem by agreeing upon a standard definition of vacant and abandoned properties and the starting number (baseline) we must address
- **Coordinate** our efforts across departments, agencies, and external partners
- **Track and improve** performance against the standard definition, baseline, and best-in-class benchmarks
- **Engage** the community and be transparent

**Scope:** VAPSTAT focuses on what Louisville Metro Government is doing to solve the cross-departmental, community-wide issue of vacant and abandoned properties. VAPSTAT does not focus on individual department performance tracked in LouieStat, nor does it discuss complaints about specific locations in depth.



# INVENTORY

LANDBANK, URBAN RENEWAL & METRO

# Average Duration of Property Inventory

- **Why measure:**
  - Landbanking clears clouded titles, returns properties to the private sector, reduces the maintenance costs to Metro, raises our tax base and puts properties back into productive use.
- **Measurement method:**
  - The average number of months a property is held in the combined inventory of Community Services and Revitalization.
- **Target:**
  - Reduce the average duration that a property is held in the inventory. Reducing that time is a function of acquiring new properties and disposing (selling or leasing) existing properties. When incoming and outgoing activity is high, the inventory is “churning” real estate to stimulate a market response.

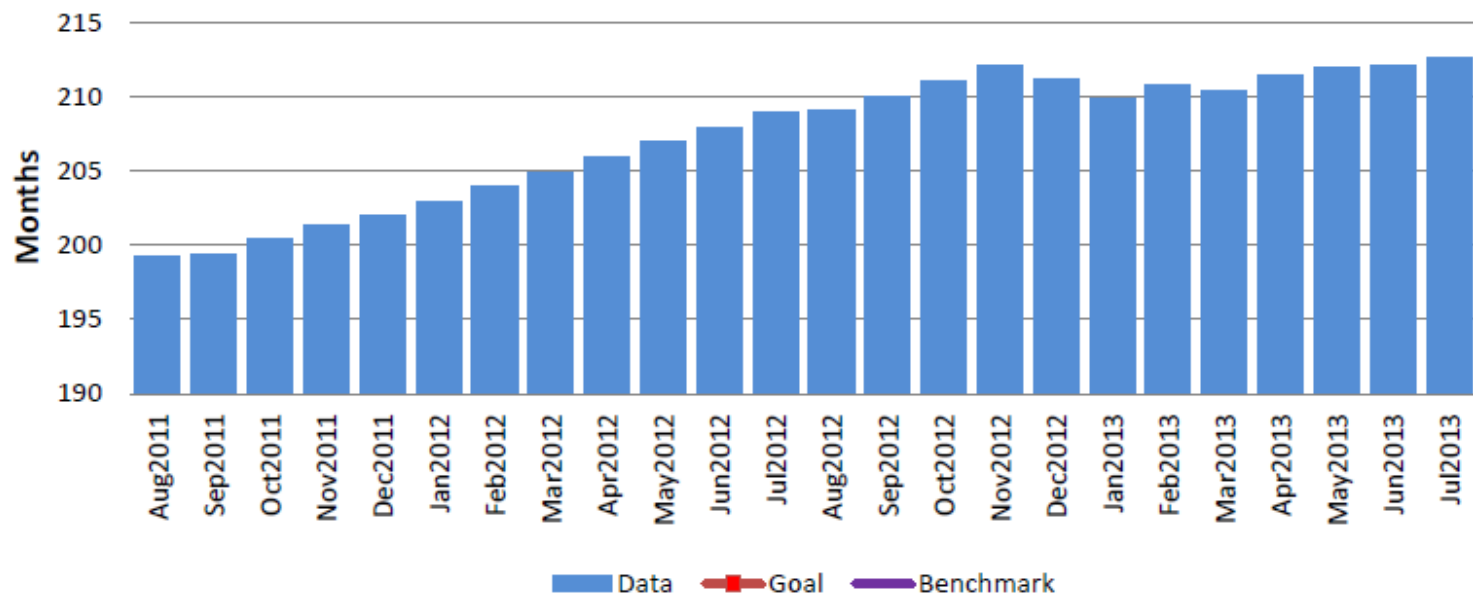


# Average Age of Inventory VAPStat



Goal	Weakness Analysis		What Are We Doing To Improve?			
Decrease the average age of the property inventory	Slow rate of new acquisitions; Slow rate of dispositions		1) Ramp up VAP Team, 2) Revise and streamline policies and procedures, 3) Examine capacity deficits throughout cross-functional process flows, 4) Examine duration benchmarks from other Landbanks around the nation.			
How Are We Doing?						
Aug2012-Jul2013 Monthly Avg Goal	Aug2012-Jul2013 Monthly Avg		Jul2013 Goal	Jul2013 Actual		
N/A	211		N/A	213		
Months	Months		Months	Months		

## Average Age of Inventory





# ACQUISITIONS DONATIONS & VAP FORECLOSURES

# Acquisitions

- **Why measure:**

- The VAP Team strives to clear up legal issues that cannot or have not been resolved by private means. When **incoming** activity is highest, the Landbank is “churning” real estate to stimulate a market response. Each additional property added to the inventory reduces the average duration in the Landbank and more properties become available for productive use.

- **Measurement method:**

The number of properties added to the property inventory in a month, either through...

- a property donation from an individual, Real Estate Owned (REO) servicer or trustee; or
- by ownership resulting from completing a VAP foreclosure action.

- **Target:**

- Increase the number of acquisitions

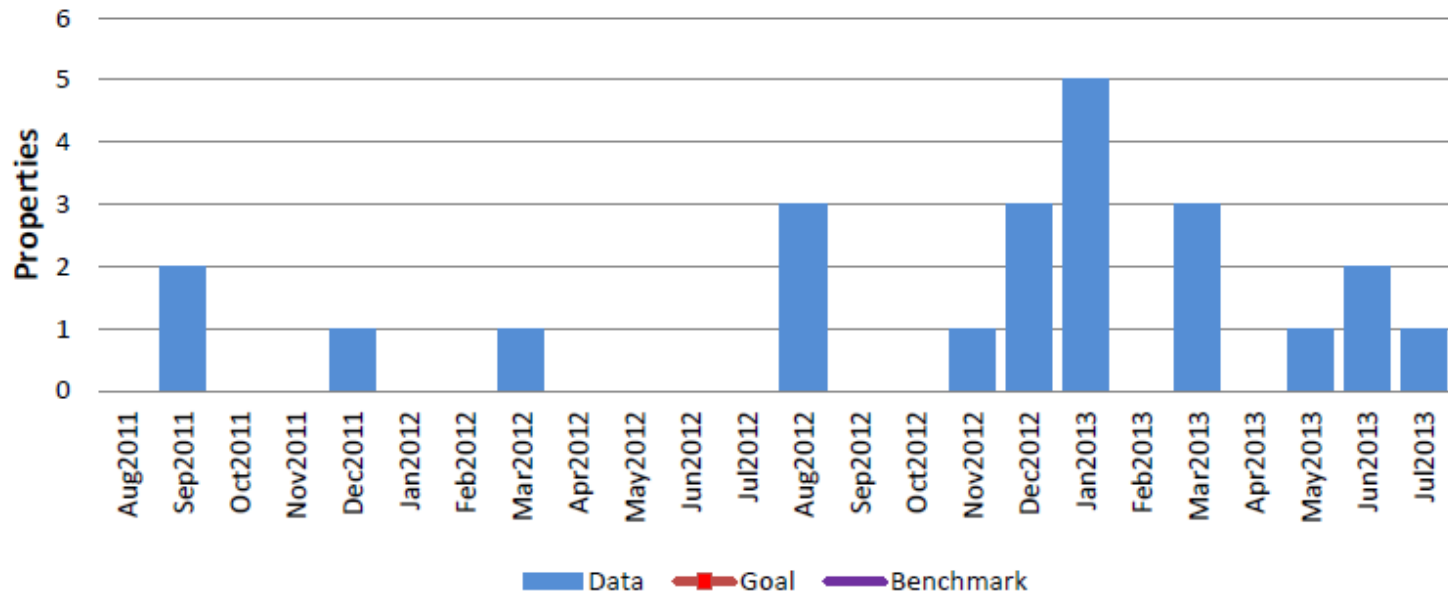


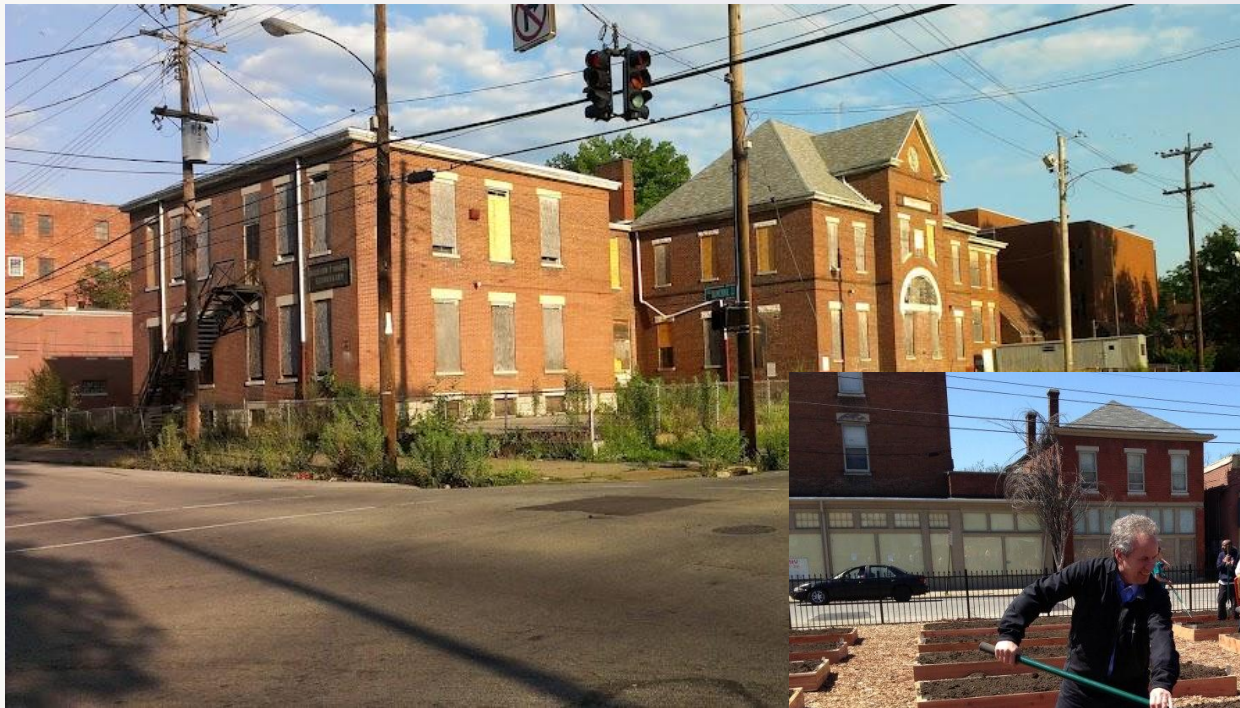
# Property Acquisition VAPStat



Goal	Weakness Analysis		What Are We Doing To Improve?			
Increase the number of acquisitions	Low volume of acceptable donation properties; Low volume of completed VAP foreclosures; Elimination of the mass tax foreclosure program; Inability to participate in arms-length transactions.		1) Revise donation and VAP foreclosure selection policies and procedures; 2) Increase legal research capacity by requesting 1 FT paralegal; 3) Explore an Automated Clearing House arrangement between CSR, Jefferson County Attorney Office and Administrative Office of the Courts; 4) Explore pro bono legal research services from private legal firms.			
How Are We Doing?						
Aug2012-Jul2013 12 Month Goal	Aug2012-Jul2013 12 Month Actual		Jul2013 Goal	Jul2013 Actual		
N/A	19		N/A	1		
Properties	Properties		Properties	Properties		

## Property Acquisition





# DISPOSITION

## SALES, SIDE-YARDS AND INTERIM USES

# Disposition

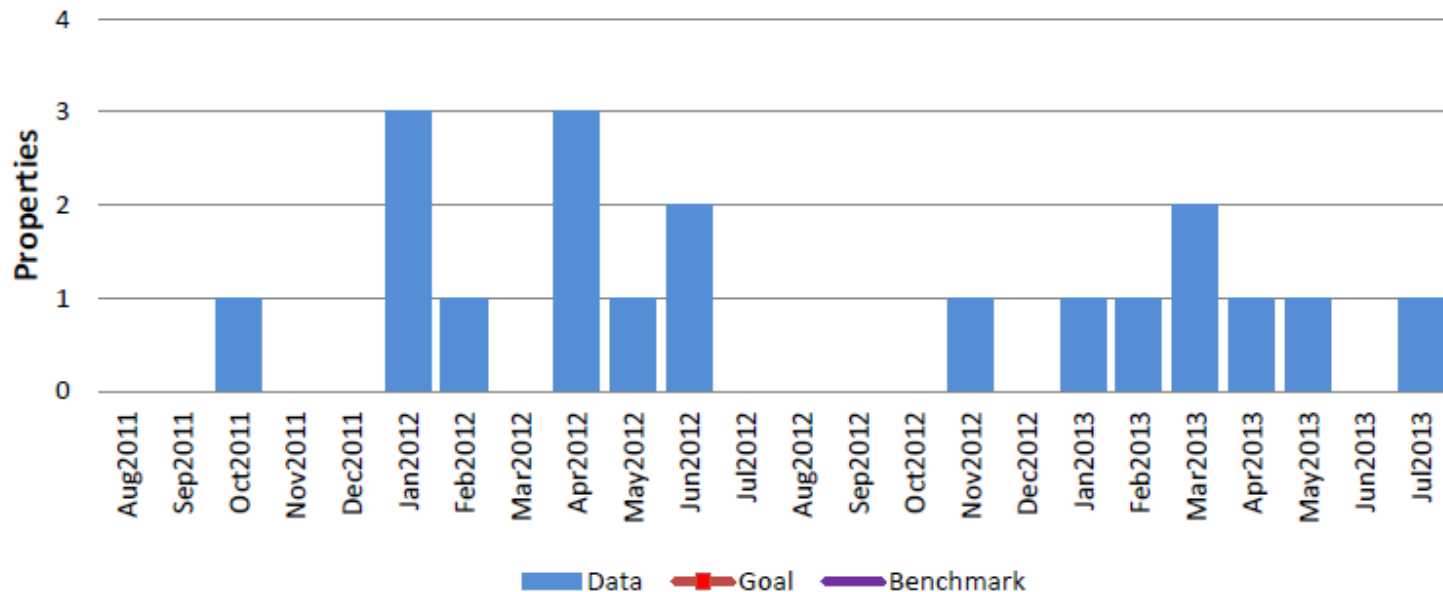
- **Why measure:**
  - The VAP Team strives to clear up legal issues that discourage economic investment or community development. When *outgoing* activity is highest the Landbank is “churning” real estate to support a market demand and productive reuse. Each additional property disposition reduces the average duration within the Landbank.
- **Measurement method:**
  - The number of properties sold in a month to a governmental entity, non-profit organization, an individual or a for-profit third party;
  - The number of properties leased in a month for interim uses like community gardens;
  - The number of properties annexed in a month by adjacent landowners as permanent side-yards.
- **Target:**
  - Increase the number of dispositions

# Property Disposition from Landbank and Urban Renewal VAPStat



Goal	Weakness Analysis		What Are We Doing To Improve?			
Increase the number of dispositions	Low demand for existing inventory (i.e. size and/or site characteristics of typical parcels), Passive and unfunded marketing strategy, existing neighborhood context not conducive to private undertakings.		1) Adopt an aggressive neighborhood-focused marketing strategy; 2) Leverage targeted acquisitions to assemble and/or market desirable sites; 3) Review and revise disposition policies and procedures.			
How Are We Doing?						
Aug2012-Jul2013 12 Month Goal	Aug2012-Jul2013 12 Month Actual		Jul2013 Goal	Jul2013 Actual		
N/A	8		N/A	1		
Properties	Properties		Properties	Properties		

## Property Disposition from Landbank and Urban Renewal







# DEMOLITIONS


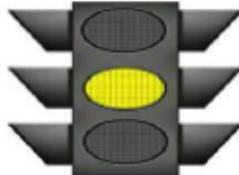


# Demolitions

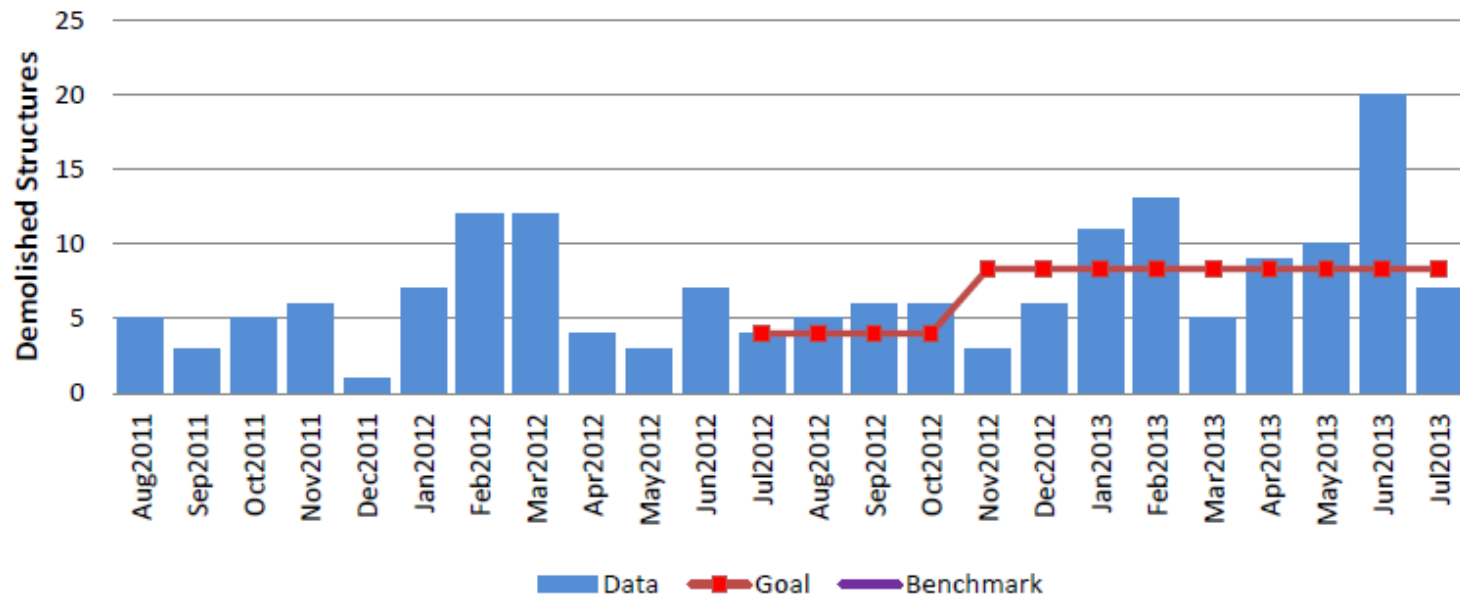
- **Why measure:**
  - Abandoned, deteriorating structures pose a blighting influence on the neighborhood, depressing property values and community vitality, and in some cases, pose a direct health and safety concern to citizens.
- **Measurement method:**
  - Count of vacant/abandoned structures demolished monthly by Louisville Metro; demo permits by private property owners
- **Target:**
  - 100 per year (steady state) - 8 to 9 properties per month after initial project ramp up

# Metro Demolitions VAPStat



Goal	Weakness Analysis		What Are We Doing To Improve?		
Demolish 100 structures in FY14	In FY13, the median time for a cost analysis for a 106 Review was 429 days, and the median time for a skip trace was 255 days. In July, numbers drop every year due to fund allocation in the new fiscal year.		1) A thorough checklist is followed for every demolition and active case management helps to ensure the process keeps moving 2) Developed a process map to clearly show where the "pain-points" in the process are - cost analysis and skip traces		
How Are We Doing?					
Aug2012-Jul2013 12 Month Goal	Aug2012-Jul2013 12 Month Actual		Jul2013 Goal	Jul2013 Actual	
87	101		8	7	
Demolished Structures	Demolished Structures		Demolished Structures	Demolished Structures	

## Metro Demolitions







# FORECLOSURES







# Foreclosures

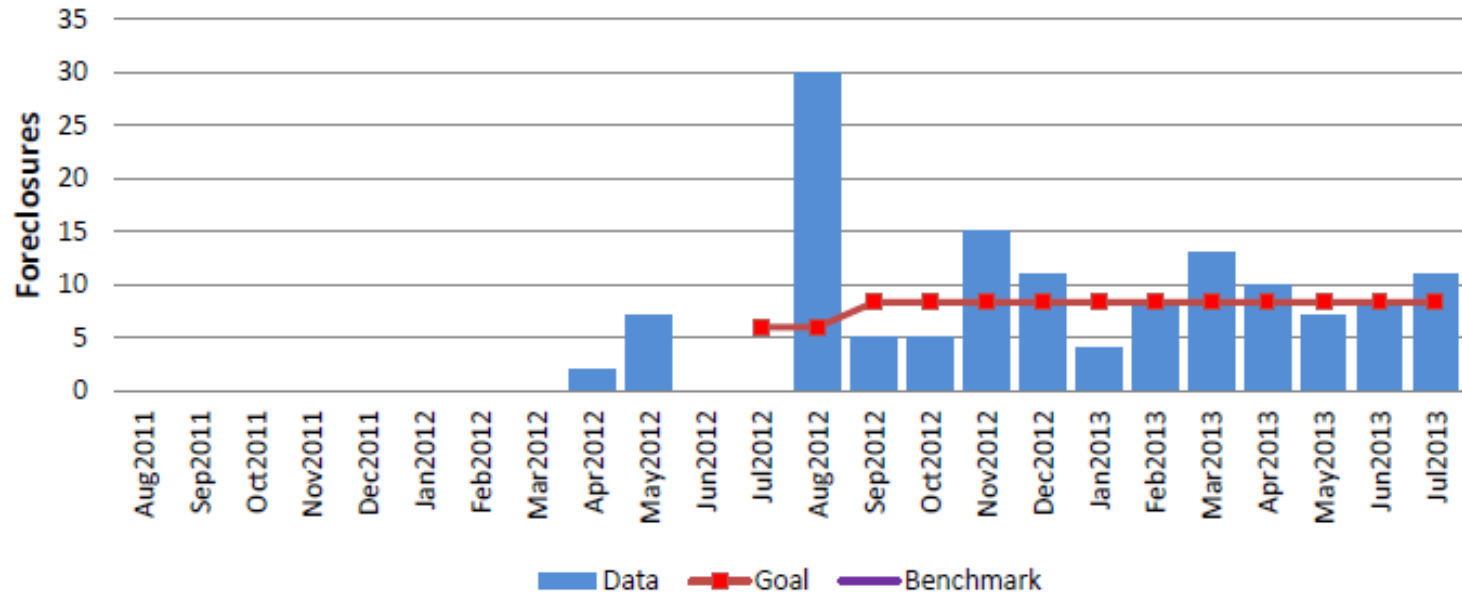
- **Why measure:**
  - Foreclosure is a significant tool that enables Louisville Metro to return an abandoned property to productive use by changing the owner(s).
- **Measurement method:**
  - Count of vacant/abandoned properties on which Metro has initiated foreclosure or escheatment
- **Target:**
  - 100 per year (steady state) - 8 to 9 properties per month after initial project ramp up

# Foreclosures Initiated VAPStat



Goal	Weakness Analysis		What Are We Doing To Improve?			
Initiate 100 foreclosures in FY14	Hansen 8 and Court Process		1) Hiring a Full-time paralegal to assist with research 2) Have proposed legislative changes to expedite court procedures			
How Are We Doing?						
Aug2012-Jul2013 12 Month Goal	Aug2012-Jul2013 12 Month Actual		Jul2013 Goal	Jul2013 Actual		
98	127		8	11		
Foreclosures	Foreclosures		Foreclosures	Foreclosures		

## Foreclosures Initiated





# BOARDING, CLEANING & CUTTING



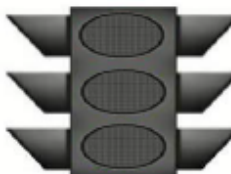

# Boarding, Cleaning & Cutting

- **Why measure:**
  - The number of boarding & cleaning referrals represents vacant properties not being maintained by their owner. The number of referrals completed reflects the abatement work Metro has performed in an effort to reduce blight and ensure public health, safety and welfare.
- **Measurement method:**
  - # of boarding and cleaning new referrals in a month
  - # of boarding and cleaning cases resolved in a month
  - # of open boarding and cleaning referral cases open at the end of a month
- **Target:**
  - Resolve 610 cases each month (160 boarding; 450 cleaning and cutting)
    - If the number of open cases falls below 610 for a month, then resolve 100% of open cases
  - Maintain a backlog of no more than 600 open cases

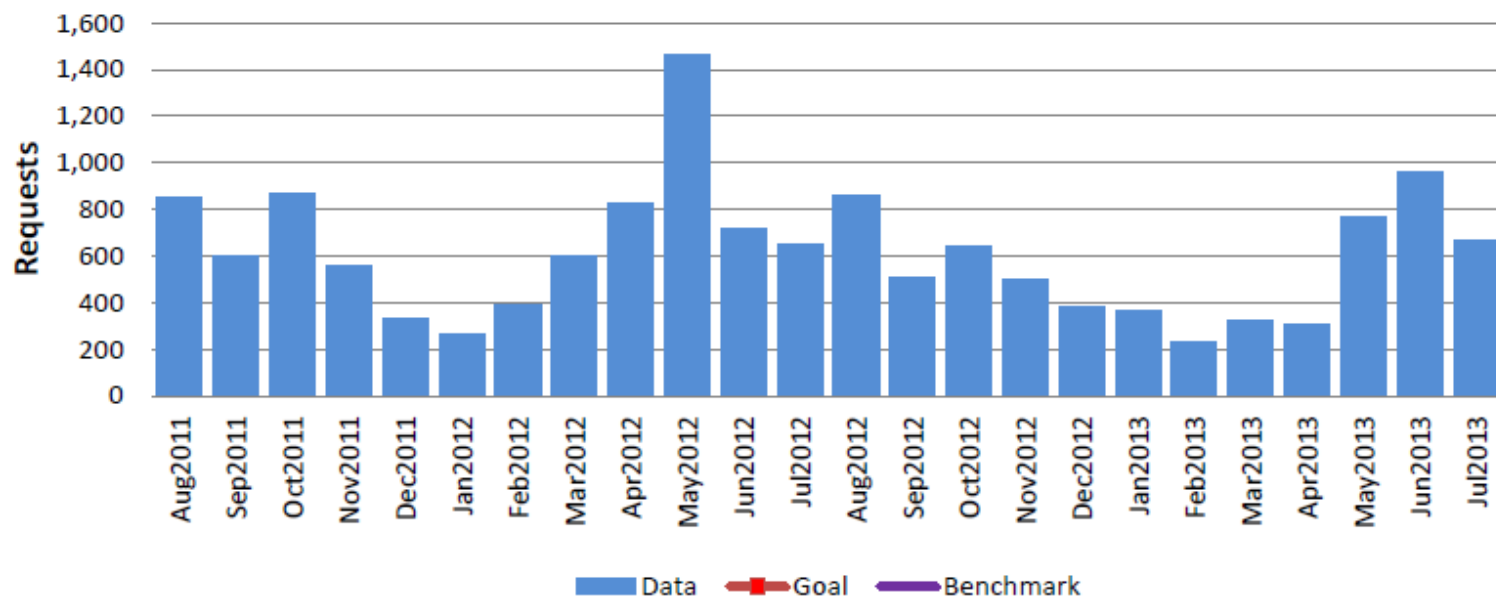


# Boarding & Cleaning Requests Received VAPStat



Goal	Weakness Analysis		What Are We Doing To Improve?			
N/A - Input Measure	N/A - Input Measure		N/A - Input Measure			
How Are We Doing?						
Aug2012-Jul2013 12 Month Goal	Aug2012-Jul2013 12 Month Actual		Jul2013 Goal	Jul2013 Actual		
N/A	6,513		N/A	664		
Requests	Requests		Requests	Requests		

## Boarding & Cleaning Requests Received

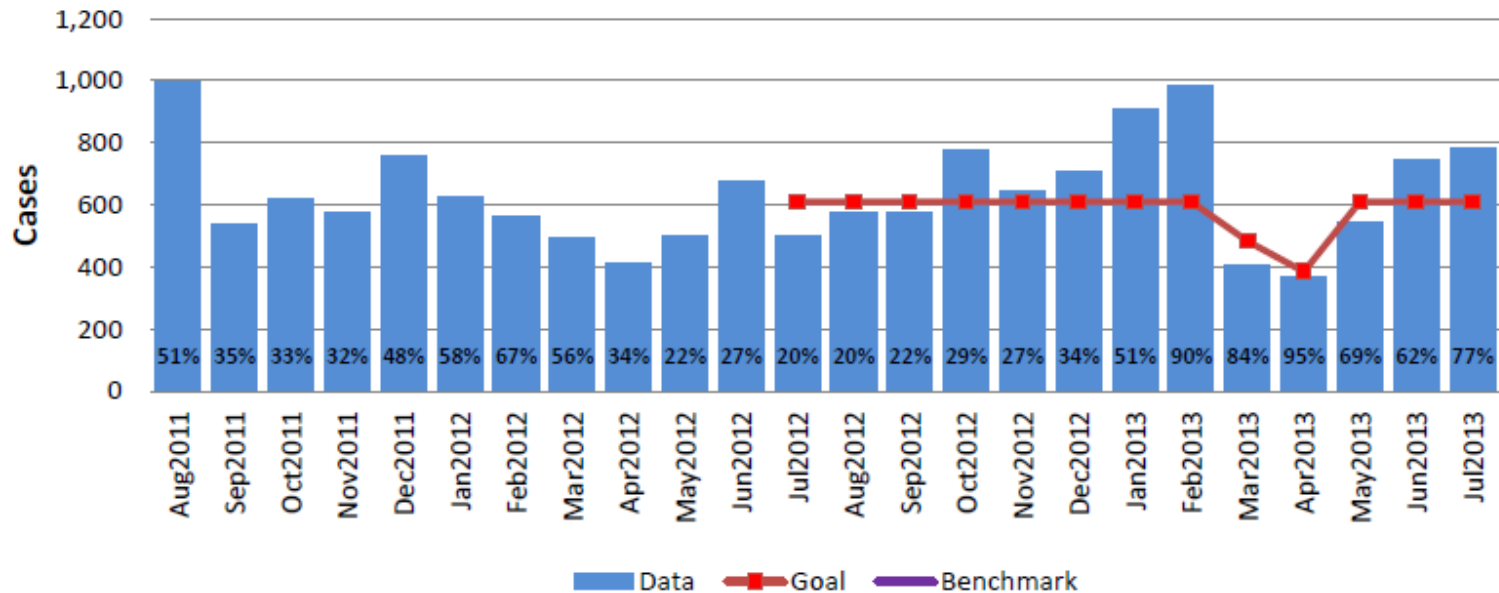


# Boarding & Cleaning Cases Resolved VAPStat





Goal	Weakness Analysis		What Are We Doing To Improve?		
Abate 610 properties a month. If the number of open cases falls below 610, then abate 100% of open cases	Wet weather in the spring causes rapid grass/weed growth; illegal dumping/debris cause delays in cleaning lots; high number of referrals		1) Moved the home location of the Vacant Lots Team to an area more central to the majority of cases in order to reduce travel time 2) Spraying herbicide to reduce repeat cleanings 3) Summer youth workers assisted June 17th - August 1st 4) LMDC inmate crews help maintain Metro Owned lots		
How Are We Doing?					
Aug2012-Jul2013 12 Month Goal	Aug2012-Jul2013 12 Month Actual		Jul2013 Goal	Jul2013 Actual	
6,968	8,013		610	782	
Cases	Cases		Cases	Cases	

## Boarding & Cleaning Cases Resolved

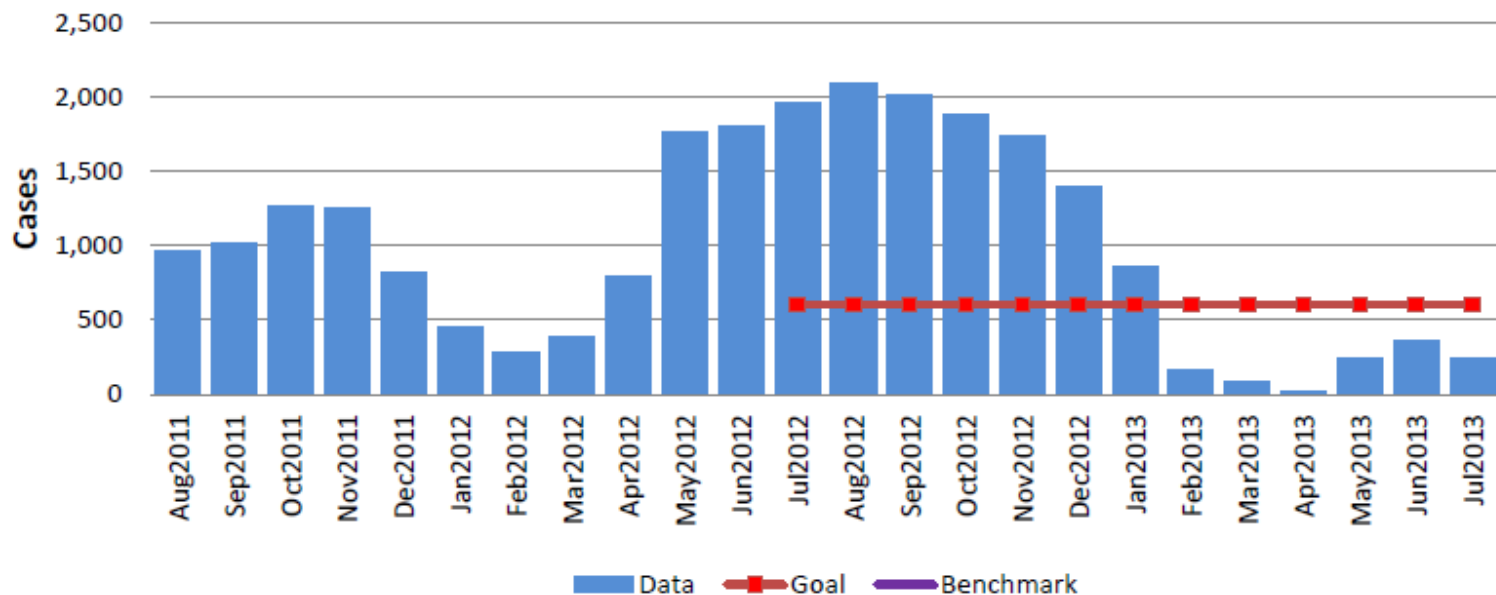


# Boarding & Cleaning Monthly Backlog VAPStat



Goal	Weakness Analysis	What Are We Doing To Improve?			
Maintain a backlog of no greater than 600 open boarding, cleaning & cutting cases in a month	Wet weather in the spring causes rapid grass/weed growth; illegal dumping/debris cause delays in cleaning lots; high number of referrals	1) Moved the home location of the Vacant Lots Team to an area more central to the majority of cases in order to reduce travel time 2) Spraying herbicide to reduce repeat cleanings 3) Summer youth workers assisted June 17th - August 1st 4) LMDC inmate crews help maintain Metro Owned lots			
How Are We Doing?					
Aug2012-Jul2013 Monthly Avg Goal	Aug2012-Jul2013 Monthly Avg		Jul2013 Goal	Jul2013 Actual	
600	923		600	240	
Cases	Cases		Cases	Cases	

## Boarding & Cleaning Monthly Backlog



# Payment/Collection from Fines, Abatement Cost and Liens



# Payment/Collection from Fines, Abatement Cost, & Liens

- **Why measure:**
  - Fines are a tool used by the code enforcement officer to encourage property owners to correct violations of the Louisville Property Maintenance Code. Abatement cost is the cost incurred by the City to correct violations (cleaning, boarding, etc...) Unpaid fines and abatement cost are secured by filing liens against the property. Funds recovered by Louisville Metro could enhance maintenance on vacant property and create programs designed to avoid vacancy in the future.
- **Measurement method:**
  - The dollar amount of code enforcement fines and abatement cost recovered.
- **Target:**
  - \$200,000 per month

# 

## 

### 

#### 

##### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

###### 

######